

CORPORATION OF THE
TOWNSHIP OF BILLINGS

AGENDA

January 27th, 2022 7:00 p.m.

Electronic

1. OPEN
2. APPROVAL OF AGENDA
3. DISCLOSURE OF PECUNIARY INTEREST
4. ADOPTION OF MINUTES
5. DELEGATIONS
6. COMMITTEE REPORTS
7. OLD BUSINESS
8. NEW BUSINESS
 - a) Fire Hall Scoping Report and Options
9. CORRESPONDENCE
 - a) Fire Hall Considerations – Sandy Cook and Ted Kilpatrick
10. INFORMATION
11. ACCOUNTS FOR PAYMENT
12. CLOSED SESSION
13. CONFIRMING BY-LAW
14. ADJOURNMENT

Memorandum

To: Mayor, Council
cc: Staff, Public
From: Staff
Date: January 21, 2022
RE: January 27th, 2022 Special Council Meeting

4. Minutes

None.

5. Delegations

None.

6. Committee Reports

None.

7. Old Business

None.

8. New Business

a) Fire Hall Scoping Plan Review

Recommendation:

That Council discuss the options presented by Tulloch Engineering, in the Fire Hall Scoping Report, and Staff, as detailed in the memo, and schedule a dedicated meeting in early 2022.

Earlier this fall, Council contracted Tulloch Engineering to prepare a “Fire Hall Renovation vs New Build Report” to examine the cost-benefit and implications of the two approaches. Tiana Mills, Deputy Clerk and Martin Connell, Fire Chief met with Tulloch Engineering on October 27th 2021. During the conversation, the Fire Chief suggested that it would be nice to have a fire hall similar to the one recently constructed in Mindemoya for The Municipality of Central Manitoulin.

The following are the estimated costs that were determined by Tulloch Engineering (all costs exclusive of HST):

Renovate existing hall (2100 sq ft.) + mezzanine	\$556,250.00
Demo existing hall and replace same size on site	\$845,000.00
Construct new pre-engineered bldg. (4830 sq. ft.)	\$1,753,875.00

CONSIDERATIONS:

This is *not* an exhaustive list, but some points to consider include the following:

- At this time, we have not been able to source any funding for either a renovation project or a rebuild or new construction.
- A complete renovation to the building is estimated to cost around \$560,000, while a completely new building with the same footprint will cost \$845,000, which is a 285,000 difference.

- Regardless of approach, construction would have to be undertaken during late spring to early fall, because the fire trucks cannot be left outside in freezing conditions. Trucks and equipment would need to be relocated to a location safely accessible for the firefighters, during construction. These considerations would be part of the project planning/management process.
- IF Council considers a larger building the fire hall will need to be relocated – the current location does not have adequate space for a larger building. The only location that I can think of would be where the current dog park is.
- IF Council determines there is a need for a larger fire hall, then Council should be considering a new Public Works garage and the possibility of converting the Public Works garage into a fire hall. Township facilities, particularly these two, cannot be considered in isolation

The Current Public Works Situation:

- We have two large bays and one small bay and have three plow trucks on the road, as well as a backhoe that needs to be ready to use at all times, two road patrol trucks etc. The backhoe is usually stored in the sand/salt dome when it is not filled with sand/salt.
- The current PW garage can accommodate 2 plow trucks and one other smaller vehicle, which is usually a patrol vehicle.
- There is very little room to work on one snowplow if the other is also in the garage. This leaves one plow truck exposed to the elements (sand freezes in the spreader when snowed on).
- Ideally, in the Public Works situation, an additional two bays would be appropriate, but we could probably make some small changes to the proposed larger fire hall (for example) to fit the PW vehicles, with not much additional square footage required.
- IF Council is considering a new larger building – either a fire hall or a public works building - then Council needs also to consider space/facility usage beyond just vehicle storage. Public Works' use of space tends to be much more intense/regular than the Fire Departments. Approximately 4-6 hours per month. This is not a reflection on the importance of having adequate space for the fire department's need – both departments need adequate storage, work and meeting space to perform their functions properly.
- IF Council considers a new building for the Public Works Department the old PW garage would need to be renovated to accommodate the fire department and the current fire hall would eventually need to be demolished. (Estimated cost of \$100,000).
- The only location with space that comes to mind with space to build a new building, regardless of whether it is ultimately a fire hall or public works building, is the current dog park.

OTHER IMPORTANT CONSIDERATIONS:

Eventually Council will need to return to at the larger township-owned buildings and facilities picture. Currently we have no additional room in the municipal office, with a new Climate person starting 2-3 days a week in Billings in January/February. As already indicated, the PW garage is too small, the gym is too small and I believe that the library would like a larger building. The township has outgrown the facilities that we have, with no plans to adjust the facilities to accommodate the level of services that need to be provided to the taxpayers of Billings Township.

In September 2018 the previous Council obtained a Proposal for Municipal Building Master Planning Services, in order to determine options for repair, modify, consolidate, demolish or potentially add to the Municipal building inventory. This proposal was not acted on. Council needs to consider the bigger picture in making this decision for the Fire Hall.

9. Correspondence

- a) Fire Hall Considerations – Sandy Cook and Ted Kilpatrick

Please review the email received from Sandy Cook and Ted Kilpatrick.

December 8, 2021
21-1780

Township of Billings
15 Old Mill Rd. Box 34
Kagawong, ON
POP 1J0

**Attention: Ms. Kathy McDonald
CAO/Clerk, Deputy Treasurer**

**Re: Fire Hall Renovation Scoping Report
Township of Billings, ON**

Dear Ms. McDonald:

As requested, TULLOCH Engineering Inc. has completed a review of potential options for repairs and upgrades to the existing fire hall building in the Township of Billings, ON.

A visual assessment of the existing fire hall was completed on October 27th, 2021, by TULLOCH Engineering's Dan Moody, A.Sc.T., and Meagan Figures, CET. The purpose of the assessment was to collect measurements and photos of the existing facility to be used in the preparation of cost estimates for potential renovations.

General details of the existing building construction were noted to be as follows:

- Approximately 2,100 square feet ground floor area + mezzanine.
- Structure consists of loadbearing concrete masonry block walls on cast in place concrete foundations.
- Roof structure is 24" deep open web steel joists with 1 ½" metal deck and assumed modified bitumen roof.
- Interior finishes are painted drywall walls, carpet flooring in the mezzanine, exposed concrete floor on ground level and suspended acoustical ceiling throughout.
 - A sample of drywall was tested for asbestos. The drywall joint compound was determined to be asbestos containing. Costs for drywall removal have been calculated based on the requirement to properly abate the asbestos.
- Exposed plumbing was noted to be copper supply piping.
- Electrical distribution was provided by an older 200-amp panel.
- The building was heated with electric baseboards.
- Interior doors were hollow metal and wood.
- Exterior personnel doors were hollow metal.
- Overhead truck doors were insulated, sectional metal.
- A water service and water meter were present in the truck bay and was used for residents of Billings Township to fill containers and/or vehicles with potable water.
 - We recommend that an engineering review of the system be complete immediately to determine compliance with the Safe Drinking Water Act.

No original design drawings were made available to TULLOCH in advance of commencing with this assignment.

Project Objectives

The intent of the project was to review options to achieve the following:

1. Address deficiencies in the masonry block exterior walls.
2. Improve energy efficiency.
3. Reduce long term maintenance costs.
4. Improve occupant comfort.
5. Review potential costs of a new facility

Based on a review of the existing facility and consideration of the objectives, we have prepared three (3) options for consideration by council. Those options are as follows:

Option 1 – Renovate the existing firehall building.

Details of Option 1, including associated cost estimates are as follows:

- Existing split face block to be strapped and receive 26 ga metal siding, \$63,000.00
- Existing split face block to be strapped and receive 1 1/2' spray foam, \$13,500.00
- Remove existing roof (assumed mod bit roof) and install new 3" insulation and 60mill PVC complete with new flashings, \$58,800.00
- Remove all interior drywall, \$70,000.00 (asbestos containing joint compound)
- Remove existing 1.5" EPS insulation, existing strapping to remain, \$7,500.00
- Install new 1.5" XPS insulation, c/w 6mil VB and new 5/8" drywall (mud, tape, and paint) everywhere but truck bays, \$44,400.00
- In truck bays install as per above but replace drywall with 26 ga white metal liner panel, \$50,900.00
- Remove existing suspended ceiling and batt insulation (above) and install new suspended ceiling, \$17,400.00
- New incoming 200-amp electrical service and panel, \$6,100.00
- Remove existing and create new main floor washroom (toilet, sink, tiled shower), \$23,500.00
- New radiant tube heater in truck bay area, \$16,600.00
- New CO/NOx gas detection and ventilation, \$8,200.00
- Sand blast clean existing painted concrete floor and install new epoxy paint, \$16,500.00
- Remove existing flooring and install new rubber plank flooring in mezzanine, \$6,500.00
- New kitchenette in mezzanine- 8 ft upper and lowers, \$4,800.00
- New double pane PVC frame windows, \$5,500.00
- New insulated exterior Hollow Metal doors, \$8,900.00
- New interior Hollow Metal doors and frames, \$5,500.00
- New electric baseboard heaters in washroom, shop area, storage area and mezzanine, \$3,400.00
- New interior lights (basic surface mount LED), \$7,100.00
- New exterior LED lights, \$3,000.00
- New emergency/exit lighting, \$3,900.00
- Exterior site remains as is
- Site services remain as is
- Truck doors remain as is

Sub-Total \$445,000.00

Regional adjustment factor for work in Billings Township (25%)

Total including regional adjustment factor \$556,250.00 + HST

Above costs do not include for design, permitting or HST.

Option 2 – Demolish the existing fire hall and construct new of same size and configuration

Details of Option 2, including associated cost estimates are as follows:

- Temporarily relocate essential fire hall services off site during construction, \$25,000.00
- Demolish the existing firehall including abatement of known designated substances (\$100,000.00)
- Construct new fire hall of same size and configuration
 - Costs for this Option have been presented as \$/square foot of construction. The unit rate for construction has been developed based on costs estimated for Option 3 (below)
 - 2,100 square feet @\$290/sf = \$551,000.00

Sub-Total \$676,000.00

Regional adjustment factor for work in Billings Township (25%)

Total including regional adjustment factor \$845,000.00 + HST

Above costs do not include for design, permitting or HST.

Option 3 – Construct new firehall on an alternate site, suitable for the size of the proposal fire hall development.

A general configuration of the proposed new fire hall building has been provided in sketch SK-3.

Details of Option 3, including associated cost estimates are as follows:

Concrete

- Form and pour 24" wide x 8" concrete footings with 3 15m continuous and 15m @16" c/c.
- Form and pour 8" thick frost wall x 5'0" tall with one layer of 15m reinforcing at 16" c/c in both directions.
- Place and finish 4" concrete floor slab in office area with one layer of 10m reinforcing at 16" c/c in both directions.
- Place and finish 8" concrete floor slab in truck bay area with one layer of 10m reinforcing at 16" c/c in both directions.
- Concrete to be 30 MPA.
- Includes for one (1) set of test cylinders for the footings.
- Frost wall and floor slab.
- Form place and finish exterior slab c/w tactile indicator.

Finishes

- Frame interior walls of office area with 5/8" drywall on both sides of 2 x 4 wood studs.
- Frame in mezzanine storage with 5/8" T&G plywood on 2 x 10 wood joist @ 16" c/c.
- Ceilings of mechanical room, compressor room, washrooms and decontaminate wash station to be painted 5/8" drywall.

- Ceiling of the remainder of the office area to be acoustic grid and tile.
- Install rubber plank flooring in office, storage (2), meeting room and washroom.
- Install ceramic tile floor and base in decontamination wash station and barrier free washroom.
- Construct wall between truck bay and office area with 2 x 4 studs, 5/8" drywall on both sides, ROXUL insulation and 26 ga metal liner to 10'0" AFF on the truck bay side (rated wall).
- Supply and install 6'0" of lower and 8'0" upper cupboards in the training room with a plastic laminate top.

Doors

- All interior doors to be painted hollow metal.
- All exterior doors to be insulated Hollow Metal door and frames c/w hinges, lockset and closer, threshold and weatherstripping.
- Supply three (3) 16'0" x 14'0" steel sectional Over Head doors c/w electric operator.

Pre-Engineered Building

- Supply and install a 46'0 x 105'0 x 17'0" at low end pre- engineered building.
- Design live and dead loads as per the requirements of the Ontario Building Code 2012.
- Galvanized columns, wall girts and roof purlins.
- Supply and install 4" insulated wall panels and 6" standing seam insulated roof panels.

General Condition, \$184,500.00
Allowance, \$24,300.00
Cast-in-Place Concrete, \$271,400.00
Misc. Metals, \$10,200.00
Carpentry, \$45,500.00
Millwork, \$6,100.00
OH doors, \$40,000.00
HM doors, \$29,600.00
Drywall And Painting, \$122,100.00
Flooring, \$17,600.00
Structural Insulated Panels, \$200,500.00
Pre-Engineered Building Supply, \$204,600.00
Pre Eng-Bldg. Labour, \$87,700.00
Plumbing, \$41,000.00
HVAC, \$58,500.00
Electrical, \$59,500.00

Sub-Total \$1,403,100.00

Regional adjustment factor for work in Billings Township (25%)

Total including regional adjustment factor \$1,753,875.00 + HST

As an alternate building site has not been identified, additional costs for property development and site servicing will be required.

Assuming that the proposed site would be of competent ground, cleared of trees and in proximity to all required municipal services, estimated site development and site servicing costs for this development would be approximately \$350,000 + HST.

Above costs do not include for design, permitting or HST.

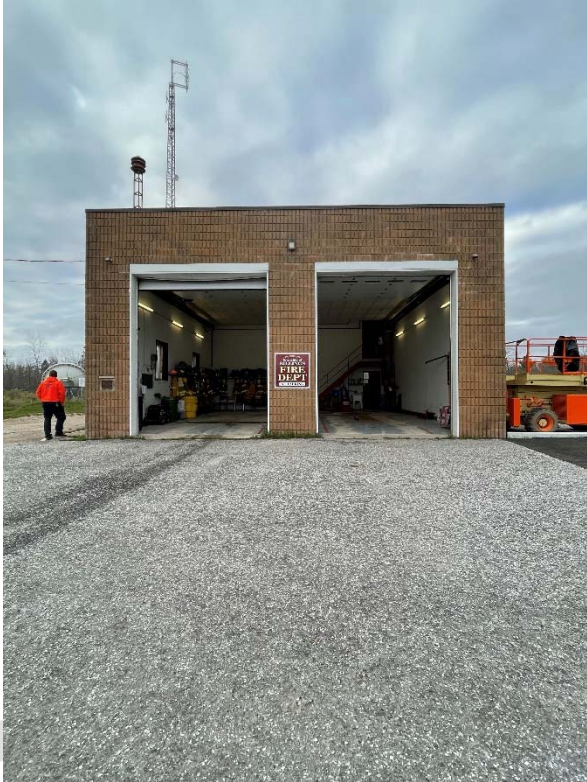


Figure 1 – East Elevation



Figure 2 – South Elevation



Figure 3 – West Elevation



Figure 4 – North Elevation



Figure 5 – Interior Elevation



Figure 6 – Mezzanine Stairs



Figure7 – Tank Fill Room / Workshop



Figure 8 - Toilet

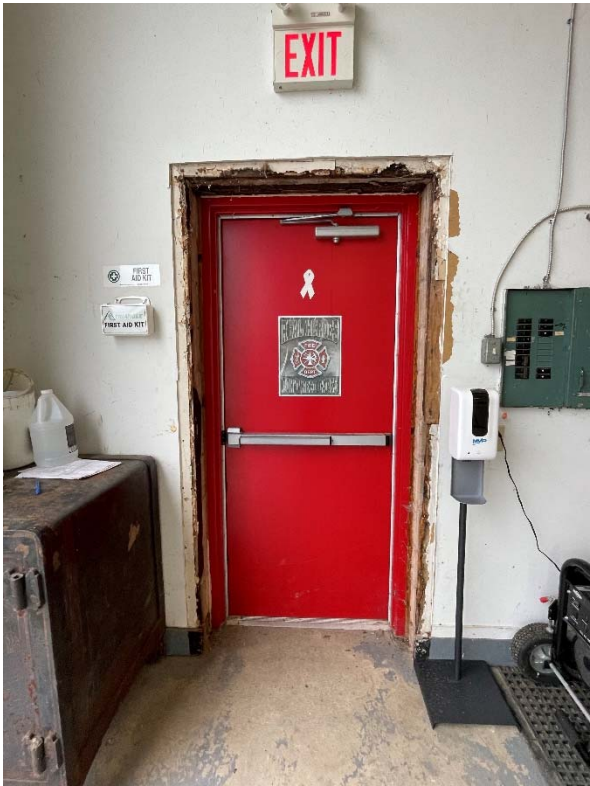


Figure 9 – Workshop Exit



Figure 10 – Main Electrical Panel



Figure 11 – Mezzanine



Figure 12 – Typical Exterior Masonry Condition



Figure 13 – Water Distribution Equipment



Figure 14 – Insulated metal panels (pre-engineered steel building)



Figure 15 – Interior metal liner panel



Figure 16 – Exterior Elevation – Central Manitoulin Fire Hall



Figure 17 – Interior Elevation – Central Manitoulin Fire Hall

Note – the cost estimates provided should be considered preliminary only (+/- 25% accuracy).

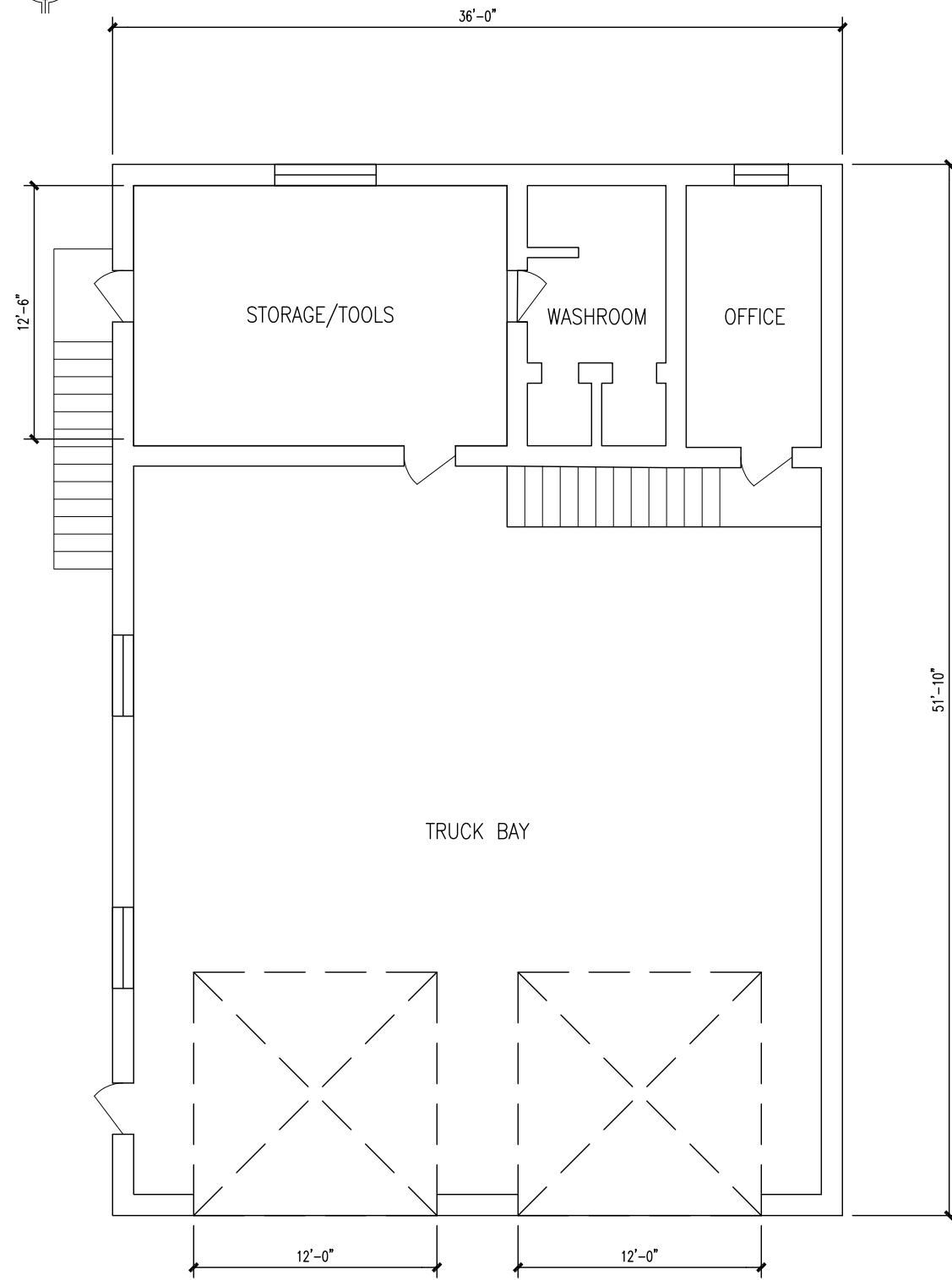
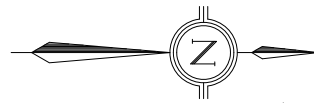
We trust you will find the information presented acceptable and we look forward to discussing this report with you. If you have any questions, do not hesitate to contact the undersigned at your convenience.

Sincerely,
TULLOCH Engineering Inc.

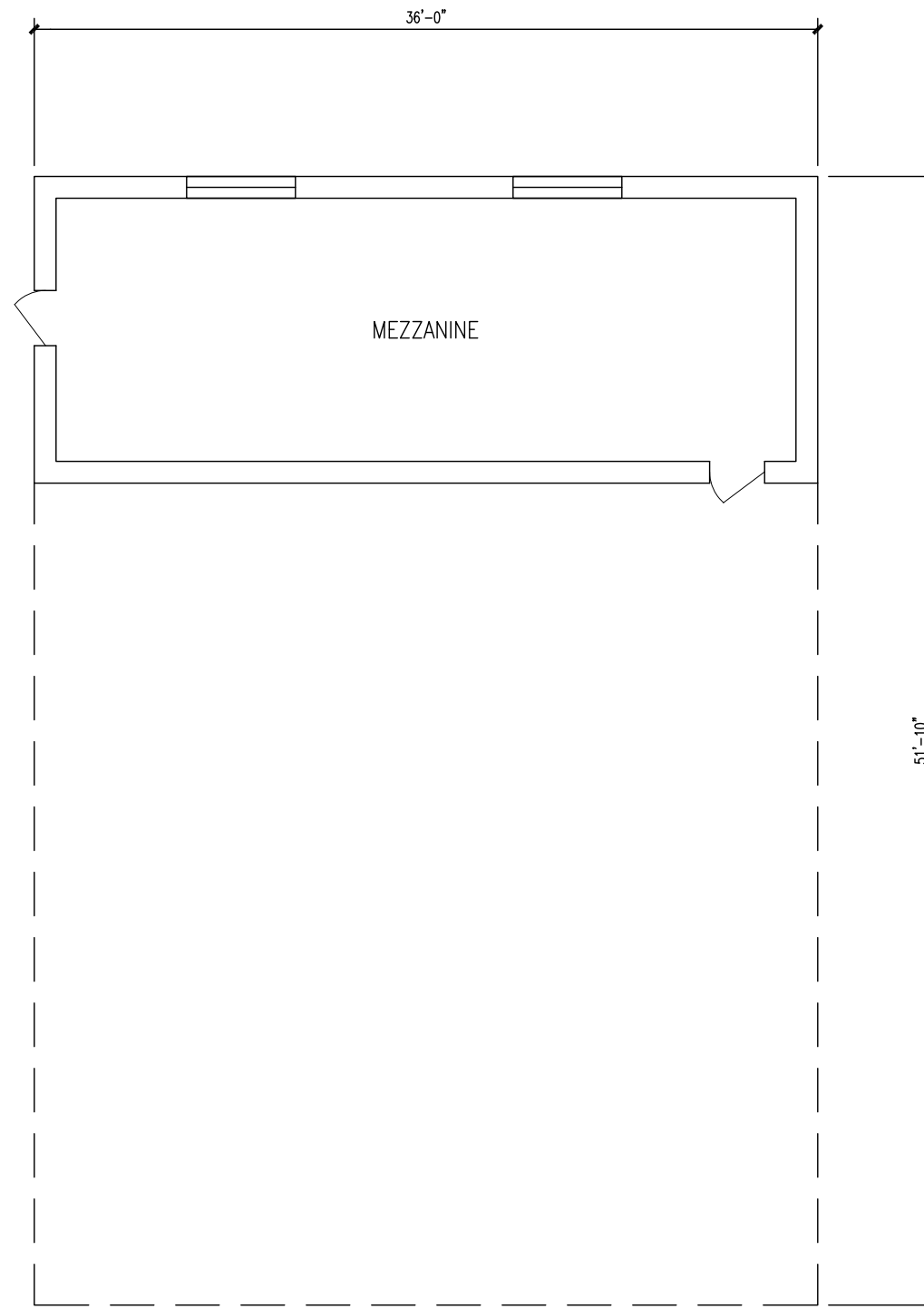


Dan Moody, A.Sc.T.
Project Manager

DRAFT



FLOOR PLAN - LOWER LEVEL
SCALE 1/8" = 1'-0"



FLOOR PLAN - MEZZANINE
SCALE 1/8" = 1'-0"

PROJECT:

TOWNSHIP OF BILLINGS
FIRE HALL SCOPING
Project Title C

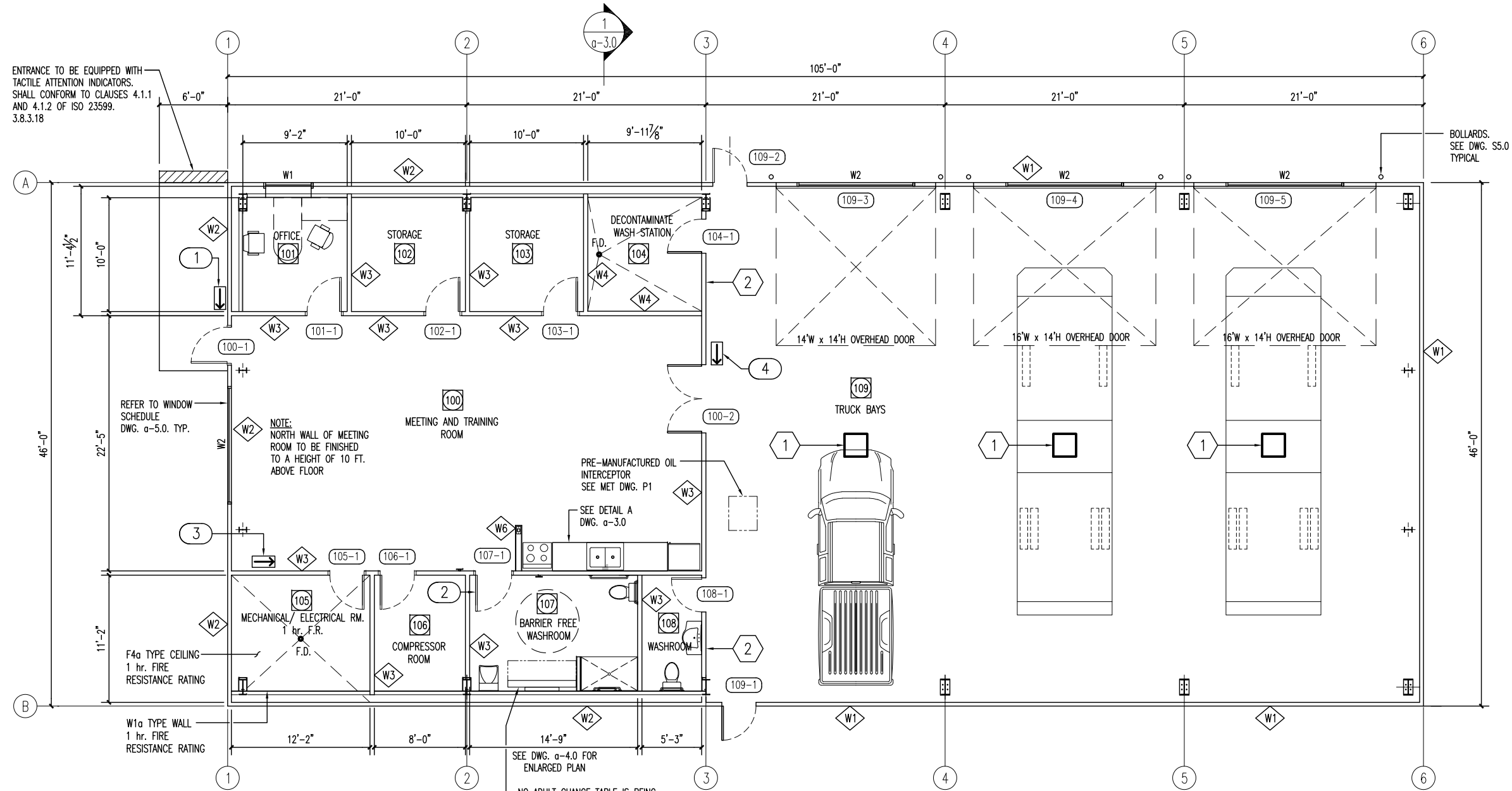
DRAWING:



PLAN

ENGINEER'S SEAL

Revision Description		PROJECT No. :	
0	MAY 1, 2017	J.D.	21-1780
No.	DATE	BY	DRAWING No.
ISSUES / REVISIONS		CHECKED BY:	REVISION No.
		D.M.	S1
		APPROVED BY:	
		Name	
		DATE:	NOV. 26, 2021
		SCALE:	As Noted



ENTRANCE TO BE EQUIPPED WITH TACTILE ATTENTION INDICATORS. SHALL CONFORM TO CLAUSES 4.1.1 AND 4.1.2 OF ISO 23599. 3.8.3.18

REFER TO WINDOW SCHEDULE DWG. α-5.0. TYP.

NOTE: NORTH WALL OF MEETING ROOM TO BE FINISHED TO A HEIGHT OF 10 FT. ABOVE FLOOR

PRE-MANUFACTURED OIL INTERCEPTOR SEE MET DWG. P1
SEE DETAIL A DWG. α-3.0

NO ADULT CHANGE TABLE IS BEING INSTALLED AS PART OF THIS CONTRACT. ONLY WOOD BLOCKING IS TO BE INSTALLED AS NOTED ON DWG. α-4.0

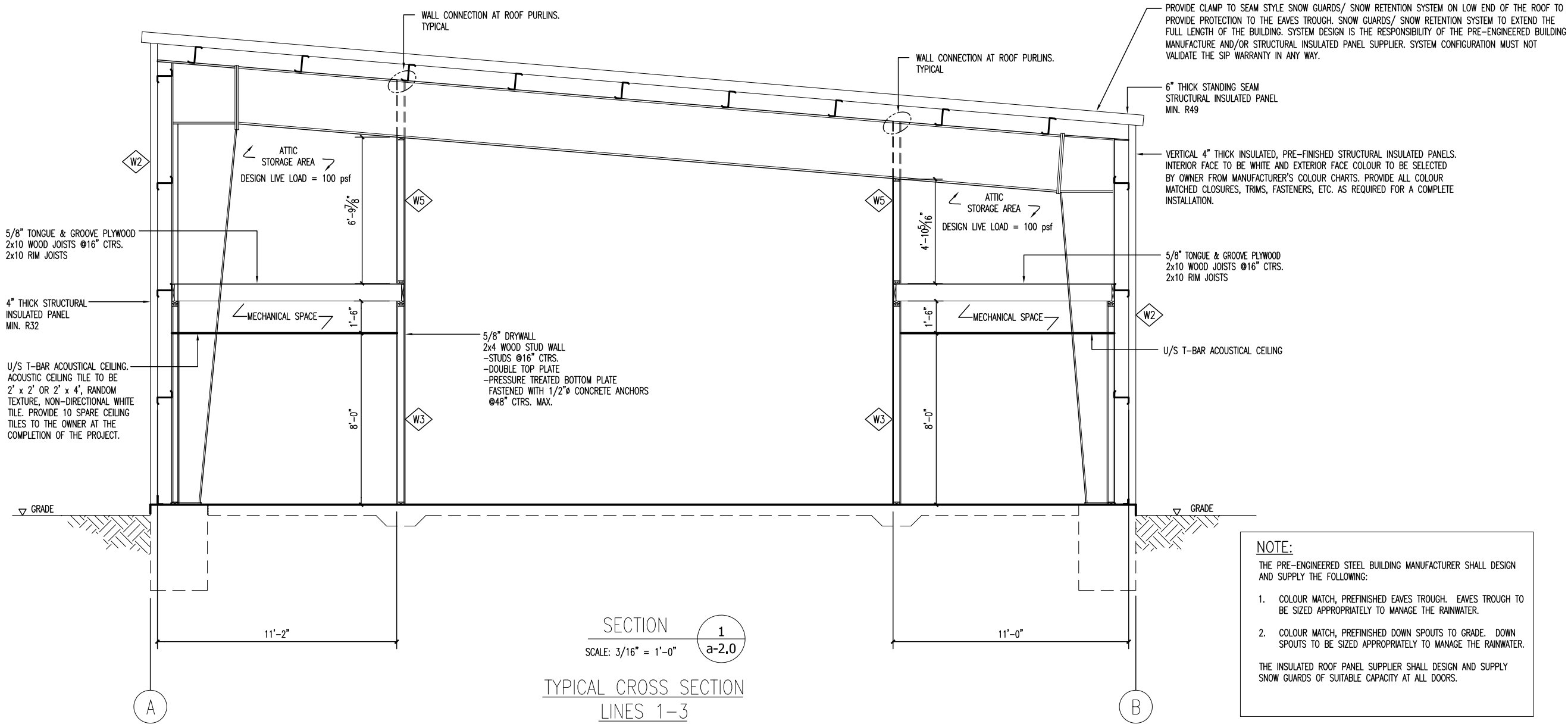
BOLLARDS. SEE DWG. S5.0 TYPICAL

LEGEND	
1	2'-0" x 2'-0" x 2'-0" DEEP PRE-CAST CONCRETE CATCH BASIN c/w CAST IRON FRAME & GRATE. SEE MECHANICAL DWGS. FOR PIPING DETAILS
2	FULL HEIGHT WALL CONSTRUCTION BETWEEN TRUCK BAY AND MEETING ROOM TO BE DRYWALL AND 29 GAUGE VERTICAL METAL LINER PANEL (COLOUR BY OWNER). LINER PANEL SHALL TERMINATE AT 10 FT. ABOVE FINISH FLOOR. (NORTH WALL OF TRUCK BAY ONLY.) PROVIDE ALL METAL FURRING CHANNELS, TRIMS, FLASHINGS, FASTENERS AND SEALANTS AS REQUIRED FOR A COMPLETE AND WEATHER TIGHT INSTALLATION.
1	ACCESSIBILITY ENTRANCE SIGNAGE (POINTING TO ROOM LOCATION)
2	SIGNAGE ON DOOR INDICATING ACCESSIBLE WASHROOM
3	ACCESSIBILITY SIGNAGE TO ARROW POINTING TO UNIVERSAL WASHROOM.
4	WASHROOM & BARRIER FREE PATH OF TRAVEL SIGNAGE.
◇	WALL TYPES. REFER TO DRAWING α-6.0

FLOOR PLAN
SCALE: 3/32" = 1'-0"

PROJECT: TOWNSHIP OF BILLINGS		DRAWING: PROPOSED NEW PLAN	
PROJECT: FIRE HALL SCOPING		DRAWING: ENGINEER'S SEAL	
PROJECT: Project Title C		DRAWING: TULLOCH ENGINEERING	
REVISION No.:		REVISION No.:	
21-1780		S2 0	
DRAWN BY: C.M.		CHECKED BY: D.M.	
DESIGNED BY: M.F.		APPROVED BY: Name	
SCALE: As Noted		DATE: NOV. 26, 2021	
ISSUES / REVISIONS		PROJECT No.:	
0 MAY 1, 2017 J.D.		21-1780	
1 11-26-2021 M.F.		DRAWING No.:	
		S2 0	

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Revision Description	J.D.	BY	CHECKED BY:	D.M.	APPROVED BY:	Name	DATE:	NOV. 26, 2021
ISSUES / REVISIONS	0	MAY 1, 2017	DATE	DESIGNED BY:	M.F.	SCALE:	As Noted	
PROJECT No.:	21-1780		DRAWING No.	S3		REVISION No.	0	

PROJECT:
TOWNSHIP OF BILLINGS
FIRE HALL SCOPING
Project Title C

DRAWING:
TYPICAL CROSS-SECTION



ENGINEER'S SEAL

Tiana Mills

To: Sandy Ted Cook Kilpatrick
Subject: RE: Firehall Considerations

From: Sandy Ted Cook Kilpatrick **Sent:** December 21, 2021 8:36 AM

To: Mayor Ian Anderson <mayoranderson@billingstwp.ca>; Bryan Barker <bbarker@billingstwp.ca>; Sharon Alkenbrack <salkenbrack@billingstwp.ca>; sjackson@billingstwp.ca; Michael Hunt <mhunt@billingstwp.ca>; Kathy McDonald <kmcdonald@billingstwp.ca>; Tiana Mills <tmills@billingstwp.ca>; Todd Gordon <tgordon@billingstwp.ca>; Cheryl McCulligh <cmcculligh@billingstwp.ca>

Subject: Firehall Considerations

Good Morning Mayor, Council and Staff,

Following last night's Council meeting, we would like to propose another option for consideration: strategizing a long-term asset management plan, complete with public consultation. As mentioned in the 8.b) preamble from last night's Agenda: the firehall needs significant renovations; the gym is too small; the township office is too small; the public works building is too small; and most township buildings need accessibility upgrades. The life-time costs of a multi-purpose building compared to upgrading existing buildings should be considered in decision making, as should green, sustainable building practices, in alignment with our CEEP, moving forward.

Pursuing grants for green, sustainable building practices and putting township money towards financing a substantial loan, may be more fiscally responsible when you consider building-life costs...40+ years.

Please consider using next month's Special Council meeting to begin a building asset management plan that will see our Township flourish sustainably into the future.

Sincerely,
Sandy Cook and Ted Kilpatrick